



WISTERIA PARK

RESIDENTIAL COMMUNITY DESIGN GUIDE

Revised July 2024

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Wisteria Park Residential Community Design Guide

INTRODUCTION

The original version of the *Residential Community Design Guide* was intended to be instructions to architects, designers and builders of Neal Communities homes. The *Guide* also served as a guide to property improvements. Now that Wisteria Park homes have been completed, a regularly updated version of the *Guide* serves as a handbook for homeowners in the current context of Wisteria Park.

Wisteria Park is a planned 60-acre community located in Manatee County, Florida. It consists of 141 single family residences, a park and recreation center with pool and spa, gazebo, playground and landscaped open spaces and roads. Wisteria Park is envisioned as a community that will blend with its existing surroundings and is intended to provide a comfortable and rewarding environment in which to live and play. A coherent and orderly pattern of streets, open space, and planned amenities merge with the site's natural characteristics.

USEFUL WEBSITE URLS

Wisteria Park

<http://www.wisteriaparkhoa.com/>

Sunstate Association Management Group

<https://sunstatemanagement.com/>

Declaration of Covenants, Conditions and Restrictions for Wisteria Park

[WP Documents.pdf \(wisteriaparkhoa.com\)](#)

Rules and Regulations

[Wisteria Park Rules and Regulations November 2018 \(wisteriaparkhoa.com\)](#)

Wisteria Park Residential Community Design Guide (this document)

[WP Community Design Guidelines Revised 2020-10.pdf \(wisteriaparkhoa.com\)](#)

Modification Request Form

[WP Modification Request Form v4-E.pdf \(wisteriaparkhoa.com\)](#)

Manatee County

<https://www.mymanatee.org/home/government/departments/building-and-developmentservices/environmental-review.html>

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REVIEW PROCESS

The *Guide* outlines an efficient and equitable review process that is administered by the Wisteria Park Homeowners Association's Architectural Review Committee (ARC).

Compliance with these standards does not preclude the ARC's right to deny a modification request submission for aesthetic purposes.

The Wisteria Park property manager and the ARC are available to help interpret the *Guide* and offer suggestions. However, nothing contained in this Guide places any obligation for any government agency to approve any plans, nor shall approval by the ARC be interpreted as meeting the requirement of Manatee County or any other governing agency.

ARCHITECTURAL REVIEW COMMITTEE

The Architectural Review Committee (ARC) was established by virtue of clause 9.02 of the Declaration of Covenants, Conditions and Restrictions for Wisteria Park (the Declaration) to promote and ensure a high level of design, quality, harmony and appearance throughout Wisteria Park consistent with the Declaration. The ARC is comprised of at least three Wisteria Park Homeowners Association Board members. The ARC acts by a simple majority vote. In the event of the death, resignation, or removal of any member of the ARC, the Board shall appoint a successor. No member of the ARC is entitled to compensation for, or is liable for claims, causes of action or damages arising from services performed pursuant to the Declaration. Members of the ARC serve terms co-terminal with their terms as Board members.

The ARC may, from time to time, adopt and modify design standards for Wisteria Park. These may include, but are not necessarily limited to, standards for a) architectural designs of improvements to be constructed on a Lot; b) fences, walls and similar structures (West Side only); c) exterior building materials and colors (see page 14 for approved colors); d) exterior lighting; e) lawn and landscaping materials and minimum requirements; f) setback, height, bulk and design criteria; g) design, materials and colors for drives and walks; and other matters assigned to the ARC by the Declaration or the Board. These standards are deemed to include any mandatory architectural requirements, prohibitions and guidelines contained in the Declaration or imposed by any governmental entity having jurisdiction.

The written approval of the ARC (see modification request form at [WP Modification Request Form v4-E.pdf \(wisteriaparkhoa.com\)](#)) is required for the construction, restoration, reconstruction or expansion of any improvement on a Lot; for any reasonably visible exterior alteration or modification to an existing improvement on a Lot; for any maintenance or repair of an improvement on a Lot which will result in the application or use of materials of a different

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type, color or quality than those in use prior to the maintenance or repair; for any landscaping or material change or addition to the landscaping or lawn of any Lot, and for the construction, installation, restoration, reconstruction, enlargement or alteration of any fence, wall, screen enclosure, pool, patio, utility line, decorative structure, outbuilding or other installation, which will alter the appearance of the Lot when viewed from the street or adjacent Lots or in any other instance where permission from the ARC is required.

Roof Solar Energy panels do not require ARC approval per Florida Statute 163.04, but ARC should be notified of project details.

Modification requests submitted to the ARC for consideration must be accompanied by the appropriate and relevant permits and/or licenses issued by Manatee County (see <https://www.mymanatee.org/home/government/departments/building-and-developmentservices/building-permitting/owner-as-contractor.html>).

MODIFICATION REQUEST REVIEW AND APPROVAL PROCESS

REVIEW

- *Wisteria Park Residential Community Design Guide* (this document)
- Manatee County Building and Zoning Requirements
- *Declaration of Covenants, Conditions and Restrictions for Wisteria Park*
- *Wisteria Park Rules and Regulations*

Links to these documents and websites are on page 3.

APPROVAL PROCESS

- Submission of a modification request form [WP Modification Request Form v4-E.pdf \(wisteriaparkhoa.com\)](#) to the ARC (through the Wisteria Park property manager) including details of the modification or addition together with any applicable drawings (site plan, elevation, Manatee County permits and licenses, etc.).
- Approval* by the ARC to proceed with or without conditions (recommendation for changes) or rejection.
- Re-submission of requested changes for approval (if required).

*Approved modification requests are valid for six months. If approved changes are not made within this time, a new modification request must be submitted to the ARC.

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SPECIAL TREATMENT LOTS

Certain lots within Wisteria Park are viewed as lots with significant visual impact within the community or from outside the community. As such, these lots have been designated for single-story homes to reduce their impact on important community vistas. Lots 1, 10 - 18, and 62 are special treatment Lots. Please see the map on the following page to locate these specially designated lots.

The following corner lots require additional landscaping along the open side:

- West Side Lots 1, 27, 28, 31, 34, 39, 42, 47, 48, 54, 55, 61, 62 and 69
- East Side Lots 70, 78, 79, 83, 84, 121, 125, 131, 135, and 141



SITE GUIDELINES

The scale of the streetscape, determined by building setbacks and placement of garages, is important in developing a sense of consistency in a community such as Wisteria Park. Setbacks have been developed to achieve a well-proportioned streetscape. These minimum setbacks determine the placement of the homes, garages, fences and landscaping. All setbacks are from the applicable property lines to the foundations and/or face of porches. The minimum home size is 1,600 square feet.

60 FOOT WIDE LOTS

Front setback – 25 feet with front load garage, 20 feet for homes with side loaded garages. Side setback - 7.5 feet to house

80 FOOT WIDE LOTS

Front setback – 25 feet with front load garage, 20 feet for homes with side loaded garages. Side setback - 7.5 feet to house

REAR SETBACK (ALL LOTS)

15 feet to house

5 foot minimum to pool enclosure, an easement may dictate a larger setback.

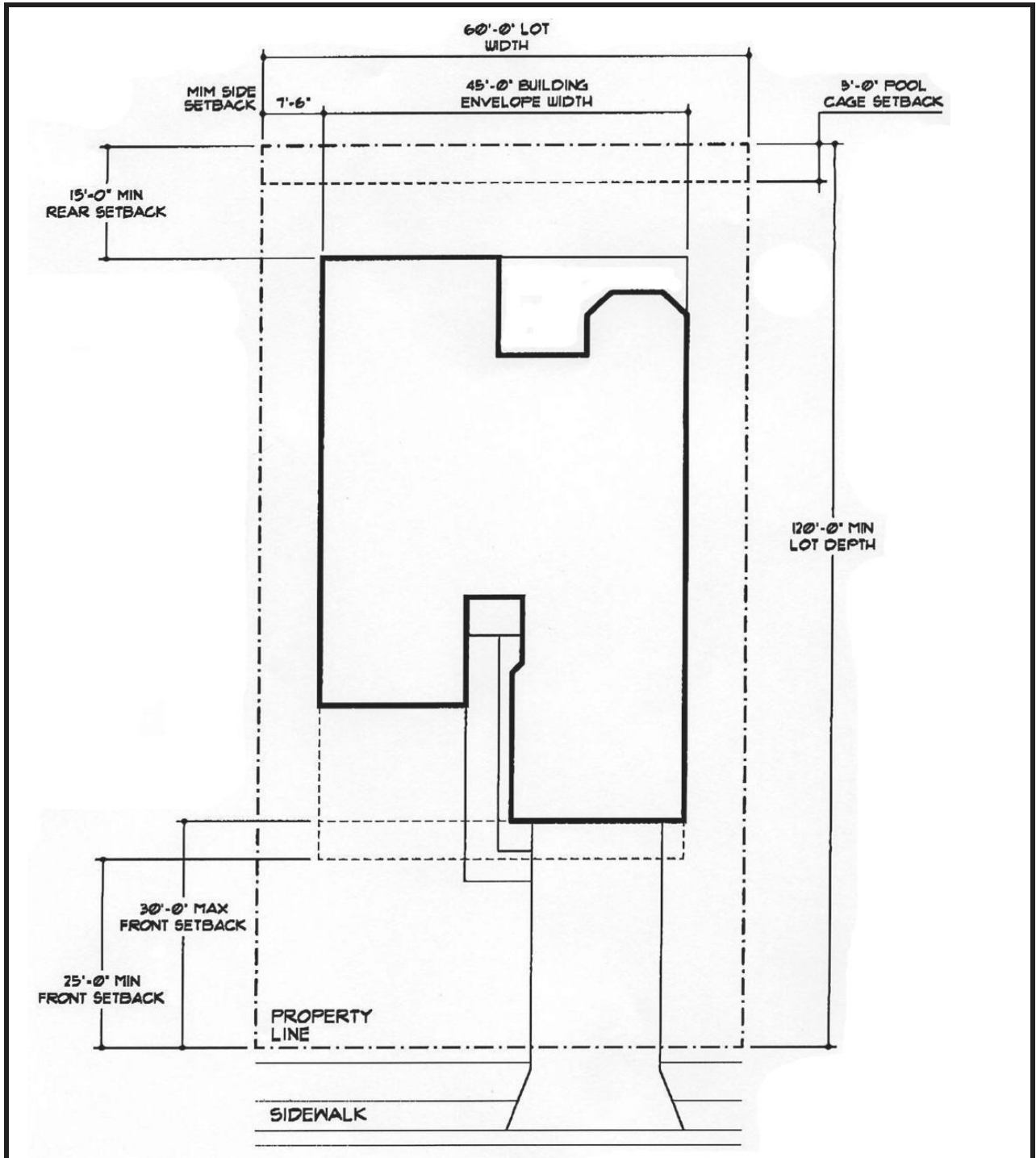
CORNER LOT SETBACK

25 feet on the road side of the home unless otherwise designated.

Note: Pool equipment, air conditioning units and any other mechanical equipment such as permanent emergency generators cannot extend more than four feet from the house. For all homes, mechanical equipment must be landscaped to screen from a front view.

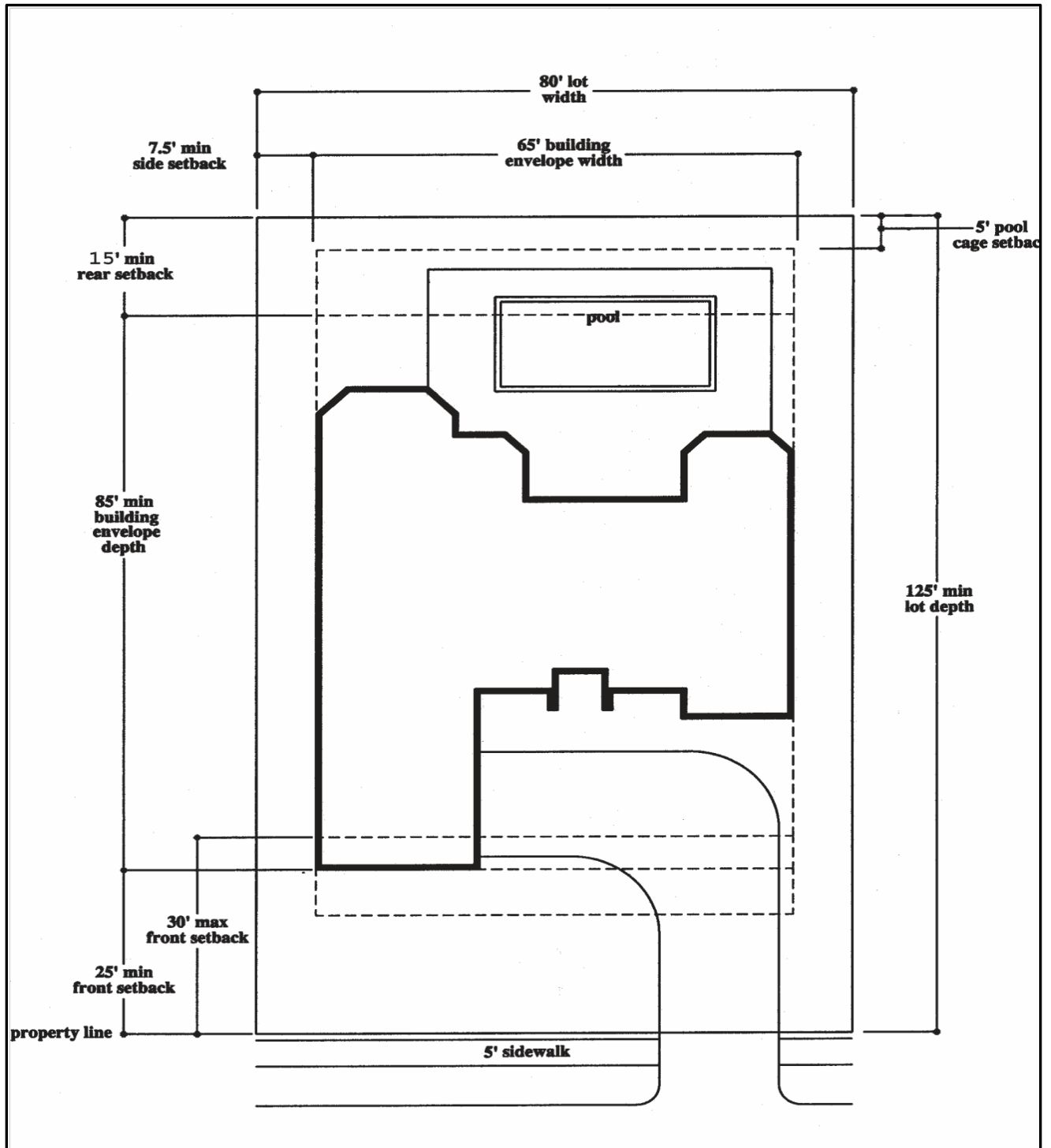
SITE GUIDELINES

EAST SIDE SINGLE FAMILY LOT SETBACKS – 60 FOOT WIDE LOTS



SITE GUIDELINES

WEST SIDE SINGLE FAMILY LOT SETBACKS – 80 FOOT WIDE LOTS



ROOF, ROOF ACCESSORIES, GUTTERS AND DOWNSPOUTS

All exposed metal materials should be hidden or downplayed whenever possible.

Care should be taken to coordinate roof color with the color scheme of the exterior paint colors.

West Side roofing must be asphalt shingles - Lots 1 to 69
East Side roofing must be slate roof tiles - Lots 70 to 141

If colors shown below are no longer available, ARC approval must be received prior to installation to ensure the new color is a close match.

East Side Roof Tiles	West Side Shingles
Alpine Blend	Antique Slate
Beachside	Barkwood
Buckskin	Birchwood
Cappuccino	Charcoal
Coconut	Driftwood
Dusk	Hickory
Florida Blend	Sablewood
Kiwi	Sandalwood
Leather	Shakewood
Onyx	Slate
Rawhide	Weatherwood
Stonehenge	
Stone Mountain	

ALLOWED

- All roof vents, plumbing stacks and flashing should closely match the color of surrounding materials and are encouraged to be located behind the main ridge line.

NOT ALLOWED

- Gutters and downspouts in contrasting colors from trim.
- Through-roof vents on front elevation.
- Unpainted exposed flashing.

WINDOWS AND SHUTTERS

Window frames should blend in with color scheme of trim.

ALLOWED

- Detailed window trim at front elevations.
- Use of shutters in traditional styles: front, side and back elevations (shutters should match the style of the home).
- Muntins on front elevations when consistent with the architectural style.
- Arched, round accent, and square transom windows.
- Storm shutters approved by the ARC must be in the up position except during a storm event or for maintenance or repair.
- Awnings on the rear only will be acceptable but must be approved by the ARC.

NOT ALLOWED

- Milled or anodized finishes.
- Reflective glass or applied reflective film.
- Untrimmed windows on front elevations.
- Awnings on front or side elevations.

FRONT ENTRY, SERVICE, PATIO, AND GARAGE DOORS

Door styles and colors should be used in such a way to emphasize the front entry. Exterior doors are focal points and should be protected with sufficient overhangs or by front porches at the main entry door. The use of a variety of door styles is encouraged. Doors should be energy conscious where appropriate.

ALLOWED

- Embossed or painted on detail at front entry doors.
- Accent colors at front entry doors.
- All garage doors must be painted the exterior house color.
- Mixed use of single and double garage doors.
- Trim details around door.
- Garage door design must be Raised Panel (either 16 or 32 panels).
- Windows in front and side entry garage doors if consistent with local building codes.
- A retractable side-pull screen (disappearing screen) that retracts into a sleek housing unit when not in use is permitted with ARC review and approval. Frames should blend in with color scheme of trim. Retractable screens are not permitted for garage doors.

NOT ALLOWED

- Flush, non-accented front doors (either through color or detail).
- Translucent fiberglass garage doors.
- Gaudy garage door details which draw attention.
- Painted designs on garage doors.
- Garage doors painted in a color other than the exterior house color.
- Garage screen doors.
- Screen doors on the front or sides of home (except as noted above).

PORCHES, DECKS AND BALCONIES

No front screen porches are allowed. Front doors shall not be screened unless an ARC-approved disappearing screen is used.

ALLOWED

- Rear decks of painted or stained wood compatible with the house finishes.
- Recycled PVC decking of appropriate color.
- Rear-elevation screen porches that fit the architectural style.

NOT ALLOWED

- Awnings on the front and sides of homes.
- Front screen porches.

MAILBOXES

Standardized mailboxes have been selected by the Wisteria Park Homeowners Association (HOA).

ALLOWED

- Single-family mailboxes and post selected and provided by the HOA.

NOT ALLOWED

- Mailboxes and support of non-standard design (prohibited).

HOUSE NUMBERS

Street numbers are considered common property and as such are the responsibility of the HOA and are selected and positioned by the HOA.

PAINT COLORS

Homeowners who wish to re-paint the exterior walls, doors and trim of their houses in the same colors do not need ARC approval to do so. They should consult the original documents pertaining to their house for paint names or take a chip from the existing colors to match.

Homeowners who wish to CHANGE the exterior colors of their houses should request ARC approval first. The approved color palettes are provided with samples to borrow from the HOA by sending an e-mail to the Wisteria Park Property Manager. The current paint colors available from Sherwin Williams are:

Exterior Walls
7036 – Accessible Beige
6162 – Ancient Marble
6120 – Believable Buff
2835 – Craftsman Brown
6380 – Humble Gold
6127 – Ivoire
6254 – Lazy Gray
6232 – Misty
6386 – Napery
6156 – Ramie
7693 – Stonebriar
6115 – Totally Tan
6121 – Whole Wheat
6197 – Aloof Gray
6119 – Antique White
6205 – Comfort Grey
6163 – Grassland
6113 – Interactive Cream
7013 – Ivory Lace
7031 – Mega Greige
6140 – Moderate White
6206 – Oyster Bay
6141 – Softer Tan
7038 – Tony Taupe
6150 – Universal Khaki

Trim Colors
7008 – Alabaster
6385 – Dover White

Care should be taken to coordinate Roof Color with the color scheme of the exterior paint colors. See page 10 for Roof Tile & Shingle Colors.

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Doors / Secondary Colors	
7046 – Anonymous	6354 – Armagnac
6179 – Artichoke	2314 – Awning Red
2272 – Bar Harbor	6143 – Basket Beige
6991 – Black Magic	2112 – Black Sea
7523 – Burnished Brandy	6681 – Butter Up
6122 – Camelback	6054 – Canyon Clay
2251 – Charcoal Green	6387 – Compatible Cream
7692 – Cupola Yellow	6237 – Dark Night
0005 – Deepest Mauve	6516 – Down Pour
6479 – Drizzle	7382 – Dusk Blue
6055 – Fiery Brown	6069 – French Roast
6167 – Garden Gate	6994 – Green Black
6379 – Jersey Cream	6213 – Halcyon Green
2111 – Hamburg Gray	6104 – Kaffe
8405 – Ladies Night	7505 – Manor House
6221 – Moody Blue	6161 – Nonchalant White
6088 – Nuthatch	6180 – Oak Moss
7674 – Peppercorn	6272 – Plum Brown
6228 – Refuge	6207 – Retreat
6155 – Rice Grain	2808 – Rockwood Dark Brown
2802 – Rockwood Red	6215 – Rocky River
6423 – Ryegrass	6204 – Sea Salt
6181 – Secret Garden	6188 – Shade Grown
6164 – Svelte Sage	6103 – Tea Chest
2118 – Umbrella Black	6243 – Uncertain Grey
6214 – Underseas	7048 – Urbane Bronze
6470 – Waterscape	7075 – Web Gray

ALLOWED

- Color appropriate to the architectural style.
- Brick and stone accent areas, approved by ARC.
- Complementary trim and siding colors with slight variations in contrast.
- Subtle third color accents.

NOT ALLOWED

- Siding and trim colors in bright, harshly contrasting ranges.
- Roof areas in pure white or black.
- Brightly colored shutters.
- The same roof or body colors in homes side by side, back-to-back or directly across the street.

EXTERIOR LIGHTING

Lighting of homes and their surroundings can add dynamic effects within a community. Effective exterior lighting within Wisteria Park is encouraged. Light fixtures should be consistent with the theme of the building design. All lighting should be "down" or "area" lighting. All light sources should be white (no colored lights) and no spillover of lights should occur on neighboring properties. Lighting should be shielded to conceal glare. Tree up-lighting should be concealed in shrubs. Coach lights on the home at the garage are required.

In the absence of streetlamps having been installed by the Developer and in order to safeguard residents, their guests and property within Wisteria Park, the pole lamps installed by the Developer or their replacements on the front lawns of all Wisteria Park homes are required to be illuminated from dusk to dawn.

ALLOWED

- Wall mounted fixtures at entries that blend with the building design.
- Fixtures and standards designed to aesthetically relate to the character of Wisteria Park.
- Lights on home.
- Maximum of two double-gang security flood lights per home.

NOT ALLOWED

- Non-shielded spotlights.
- Colored lights, except during holidays.
- Spill-over of light onto neighboring property or conservation areas.
- Any coach light not approved by the ARC.
- Lighted bollards at walkways.

POOLS, SPAS, WATER FEATURES, SCREEN ENCLOSURES AND PLAY EQUIPMENT

All water features must be located in rear yards. All water features must be in-ground, except spas, which may be built into appropriately designed and screened deck systems. Equipment for pools, spas, or fountains should be completely screened from adjoining properties and front and rear views. Small temporary play children's pools are allowed. Safety fencing must be provided in accordance with community fencing guidelines and local codes. The installation of any pool, spa or water feature must be approved by the ARC.

Permanent play equipment must be placed with the building setback lines at the rear of the property and must be landscaped to help minimize the visual impact on adjacent property owners and from public streets. The installation of any permanent play equipment must be approved by the ARC. Swing sets and play equipment must be placed within 15 feet of the house, cannot exceed eight feet in height and must be screened from neighbor' and public view. Basketball hoops must be portable and be stored out of sight when not in use. Permanent basketball hoops affixed to a house or garage are not allowed. No play equipment, for example, swings, hammocks, etc., is allowed in front yards.

ALLOWED

- In-ground pools with approved fencing and screening.
- In-ground or in-deck spas with approved fencing and screening.
- Screened enclosures within setbacks.
- Pool cage frames must be **white** aluminum only.
- Fountains or other water features must be located in rear yards only.
- Above-ground spas in backyard screened appropriately (on lanai with landscaping).

NOT ALLOWED

- Permanent above ground pools.
- Permanent basketball hoops in the front yard.
- Permanent playground equipment outside of building setbacks.
- Screen structures that can be seen from the front of home.
- Screens that project over existing roof planes.

FENCING

While it is a goal not to use fencing within the community, it is understood that fencing is necessary to meet the needs of some residents. Therefore, certain fencing will be allowed on the West Side, excluding any lake front, lake view or outward corner lot (Excluded Lots 1, 13 – 19, 27-48, 54, 55, 61 – 69). **No Fencing is allowed on the East Side (Lots 70 to 141).** Fence design and color must be submitted to the ARC for approval prior to construction. Approval or denial of any proposed fencing is at the discretion of the ARC.

It is preferable that fences do not function as property line markers but be used (where approved) to define exterior spaces. Fences shall be installed only within the homeowner's property. The homeowner is responsible to ensure the installation contractor has discovered and validated the property line before installation. A property survey may be required.

Only rear-yard fencing is permitted and shall be installed starting no less than 30 feet back from the front corner of the house on all lots.

Landscaping is required to minimize and soften the appearance of the fence from the street. Fences may not restrict access to dedicated easements or to utilities and their above and below ground appurtenances. Fencing and landscaping placed within utility easements are subject to disturbance by utility companies not under the control of the HOA. Restoration of these disturbances is the responsibility of the homeowner.

Approved fencing shall be six (6) foot high beige PVC material; fences may not be aluminum, wrought iron, or wood. Fence design, color and location must be submitted to the ARC for approval prior to construction. A drawing of the home site indicating the fence location must be submitted.

Landscaping is required to be installed and maintained to minimize the impact of the fencing. At least 50 percent of this fencing shall be fronted with landscape material within one growing season.

NOT ALLOWED

- Stucco walls unless a part of an entry monument, for short lengths.
- Double fences.
- Wood accent fences, aluminum, wrought iron, wood, chain link or wire fences.

ENTRY WALKS, DRIVEWAYS AND SIDEWALKS

In all cases with front load garages, the front door and porch will be connected to the driveway and the sidewalk with a minimum three-foot wide sidewalk.

Walkways and driveways are to be constructed of concrete, concrete pavers or brick. On the East Side, paver driveways and walkways are required. Asphalt, gravel and painted concrete are prohibited driveway and sidewalk materials.

On homes with front-facing garages, driveways shall not extend beyond the side planes of the garage. On homes with side-entry garages, driveways should not extend beyond the side plane of the garage.

ALLOWED

- Concrete (West Side ONLY).
- Concrete pavers for walks and driveways.
- Direct connection to sidewalks. (West Side only).

NOT ALLOWED

- Gravel or shell walks and driveways.
- Any tinted or sprayed colored top coating.
- No Concrete driveways on East Side

SERVICE AREAS AND EQUIPMENT

Meters should be located for easy access but screened from street or neighbor views with landscaping or architectural screening as described in the landscape guidelines. Outdoor mechanical equipment, including pumps and permanent emergency generators, should be shielded from view and directed so noise does not affect, or worst case, minimally affects neighboring properties. Placement of mechanical equipment and associated landscaping shall not interfere with side yard drainage.

Satellite dishes over 18 inches in diameter are not allowed. Smaller satellite dishes may not be installed on roofs or at the front of homes and must not be visible from the street.

Trash receptacles, air conditioning units, pool equipment or other mechanical equipment must be fully screened by a wall that is compatible with the building's material and style or by landscaping.

Solar panels and piping shall be subject to ARC approval consistent with relevant State statutes.

ALLOWED

- Service meters, mechanical equipment and trash receptacles are required to be grouped and shielded from view.
- Transformers must be shielded from view by landscaping.
- Permanently installed emergency generators must be shielded from view by landscaping.
- Portable emergency generators must be stored inside the garage when not in use.

NOT ALLOWED

- Exposed, landscaped meters & services,
- Exposed mechanical equipment of any kind.
- Exposed trash receptacles.
- Satellite dishes viewed from street.
- Satellite dishes over 18" in diameter.

LANDSCAPE CHARACTER and STYLE

Establishment of a strong community landscape image is critical to the success of Wisteria Park. This landscape section has been designed to provide property owners, architects, landscape architects, contractors and builders with important information related to the development of homes to ensure a harmonious neighborhood streetscape, establish visual sense of community as a whole, and to protect the aesthetic quality of the overall community, while still allowing for individual expression of the homeowner. The use of native plant materials and Florida friendly landscaping is encouraged. Front-yard plantings should be sympathetic to the overall neighborhood streetscape in form, texture and simplicity of design. This can be achieved by limiting the front-yard planting to lawn, trees and layered foundation planting beds.

Treatment of rear yards is dependent on their location. On lake front lots, the landscape should enhance the rear patio or pool area while filtering the view of the homes from the lake area while keeping the rear perimeters of the property open so as not to interfere with an adjoining neighbor's view of the lake. On back-to-back lots, the homeowner's privacy is the main concern.

All mechanical equipment ground mounted utilities and services not occurring within a building must be screened from adjoining properties by a visual barrier such as landscaping sufficient in form and texture to effectively screen the item. All fencing seen from the street must be accompanied by landscaping sufficient to obscure and minimize the impact of the fence. Accessory structures, sculptures and decorative objects such as statuary bird baths, are prohibited in front yards. Bird feeders approved by the ARC may be placed in back yards only but must not be visible from the street.

All lots must be completely sodded. If re-installation is required, grass sod or plugs must be St. Augustine Floratam or comparable grass and be free of weeds, diseases, fungus and vermin. Lawns must be neatly mown, edged and well-kept. Replacement of sod between homes with materials such as stone or mulch shall be subject to ARC approval.

Lake front lots must be sodded with Floratam or comparable grass down to the No Mow Zone. The No Mow zone is a two-to-five-foot strip around each pond. Once the strip is well established, it is top trimmed to a height of about 12 to 18 inches. Allowing grasses to grow to this height will result in root development down to the water level. This will help hold the soil together and thus resist the erosive effect of wave action. It will also prevent grass clippings from entering the ponds. Grass clippings change the biology of the ponds and contribute to sedimentation.

All trees and shrubs shall be Florida #1 or better. All landscaped areas shall be irrigated by an automatic irrigation system.

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A two-to-three inch layer of organic mulch (cocoa brown color only) is recommended in all planting beds and around free standing trees and shrubs to reduce water loss, control weeds and prevent runoff. Acceptable mulch materials include pine-bark, shredded hardwood mulch products and pine straw. Inorganic mulch materials such as stone, gravel and synthetic mulch materials are not allowed.

ALLOWED (FRONT AND SIDE YARDS)

- Formal or informal (except for front hedge).
- Cocoa brown shredded bark mulch.
- Layered beds.
- Crushed, small stone on side of house for drainage issues with ARC Approval.

NOT ALLOWED (FRONT AND SIDE YARDS)

- Oriental-style (Japanese) gardens.
- English -style gardens.
- Colored mulch.
- Stones in replacement of mulch.

LANDSCAPE PLANTING GUIDELINES

STREET / CANOPY TREES

All front yard canopy trees must be replaced in accordance with the Declaration Article 9.09 Mandatory Tree Planting and Maintenance and per the Clean Slate Letter - Front yard Canopy Tree Removal (October 2023). Removal and replacement must be approved by ARC. You do not need authorization to remove or replace a tree in your private back or side yard.

FRONT YARDS

The front yard is defined as the area from the back of curb to the front of the home, including side yards as far as the mid-point of the house. Planting in this area is important since it determines the aesthetic appeal of the overall streetscape. The goal of landscaping is to integrate the home and lot and thereby soften the impact of the home along a particular street and create visual interest and excitement for the streetscape. The appearance should be natural in appearance with formal accents.

REAR YARDS

Rear yards are defined as the area from the rear property line to the home including the side yards as far forward as the mid-point of the house. A two to five foot wide, 12 to 18 inches in height, “no-mow” strip must be maintained around all retention ponds. For standard back-to-back lots, hedges and dense plantings are encouraged along the property line.

CORNER LOTS

Because these lots are larger and have increased visual impact, additional plantings are required for privacy as well as an extended streetscape impact. Planting will include additional street trees as well as front yard type treatment to the corner side yard.

PLANT MATERIAL

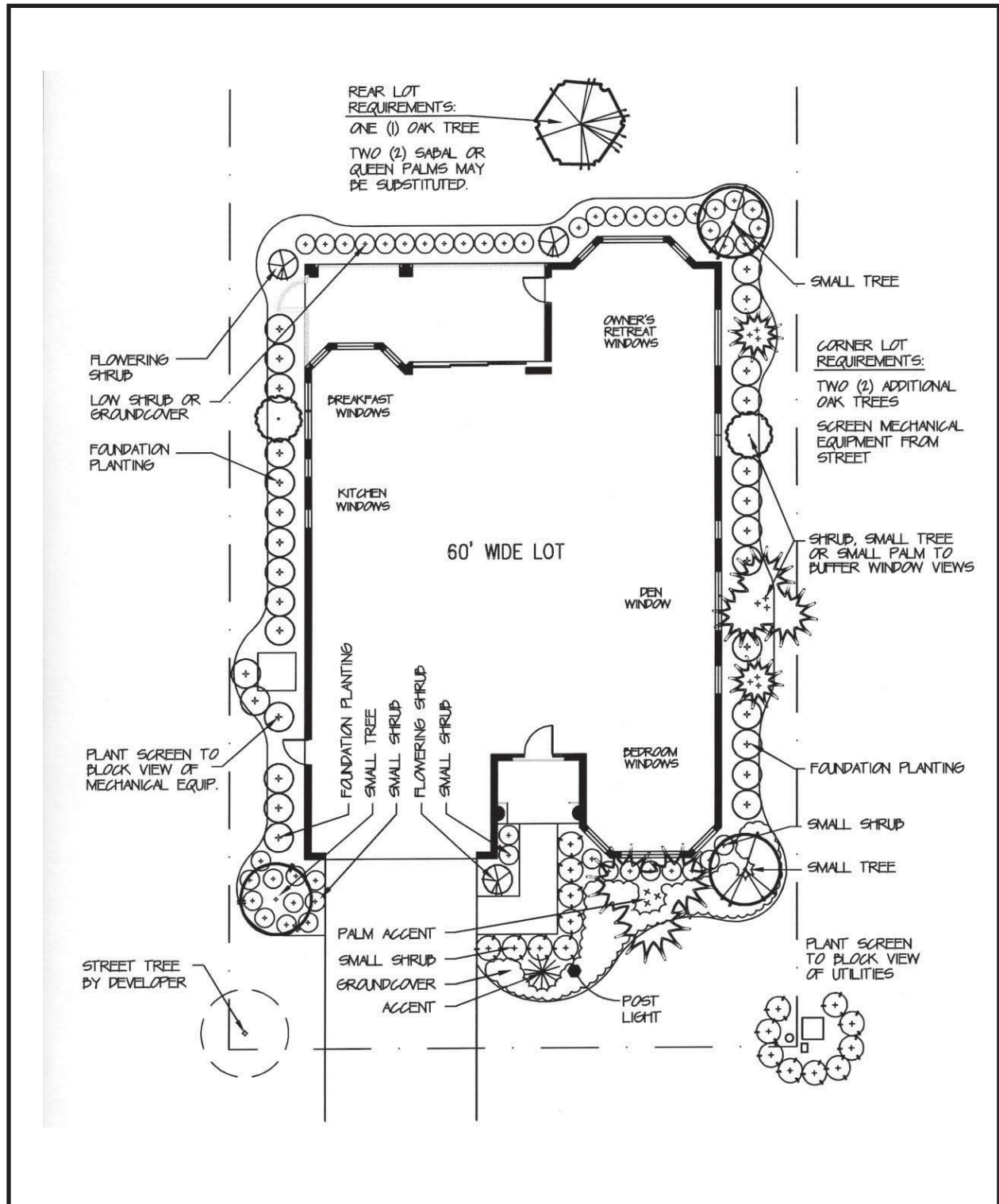
Plant material must be selected from the approved plant list included in this guide. Minimum plant sizes are also indicated for each plant type. Additional plant material may be selected from the Florida Landscaping Guide to Plant Selection and Landscaping Design (FLGPSLD).

IRRIGATION

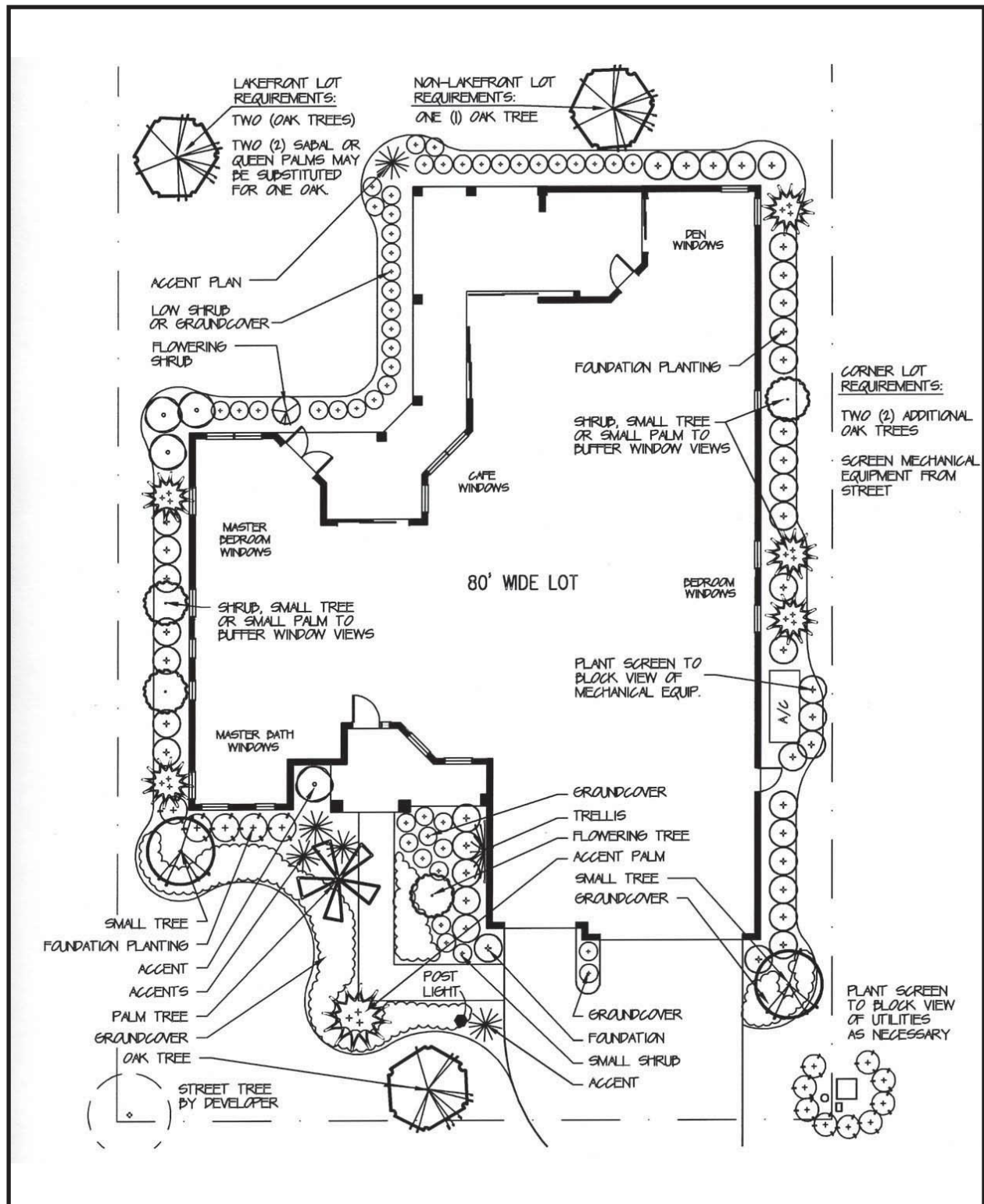
To help maintain landscape quality, an automatic irrigation system is required for all houses. The systems were installed per the following specifications which residents should maintain.

Fixed risers may be used in shrub areas not adjacent to pavement. Class 200 PVC pipe or better must be used. Rotors and sprays must not be used in the same zone. Irrigation systems must provide full coverage of all landscaped areas with minimal overspray of neighboring property and pavement areas.

60 FOOT WIDE LANDSCAPE STANDARDS, SAMPLE MINIMUM PLANTING REQUIREMENTS



80 FOOT WIDE LANDSCAPE STANDARDS, SAMPLE MINIMUM PLANTING REQUIREMENTS



APPROVED PLANT LIST

FRONT YARD SHADE / CANOPY TREES FOR 60 FOOT WIDE PROPERTIES

Ten to 11 feet(11') height; four-foot spread; two-and-a-half to three-inch (3') diameter; four-foot (4') clear trunk.

Common Name	Botanical Name
Eagleston Holly	Ilex attenuata 'Eagleston'
Dahoon Holly	Ilex cassine
Nellie Stevens Holly	Ilex 'Nellie Stevens'
'Little Gem' Magnolia	Magnolia grandiflora
Red Maple	Acer rubrum
'Shady Lady' Black Olive	Bucida buceras
Walter's Viburnum (tree form)	Viburnum obovatum

FRONT YARD SHADE / CANOPY TREES FOR 80 FOOT WIDE PROPERTIES

Twelve-foot (12') height; six-foot (6') spread; three-inch (3") caliper diameter; four-foot (4') clear trunk.

Common Name	Botanical Name
Bald Cypress	Taxodium distichum
Pond Cypress	Taxodium ascendens
Drake Elm	Ulmus parifolia
Allee Elm	Ulmus parifolia "Allee"
Sweet Gum Tree	Liquidambar styraciflua Rotundiloba
Sweet Gum Tree (fruitless)	Liquidambar styraciflua "rotundiloba"
Southern Magnolia	Magnolia grandiflora
Red Maple Tree	Acer Rubrum
Laurel Oak Tree	Quercus laurifolia
Live Oak Tree	Quercus virginiana
Nuttall Oak	Quercus nuttalli
Southern Red Oak	Quercus falcata
Shumardi Oak	Quercus Shumardii
Longleaf Pine	Pinus palustris
Loblolly Pine	Pinus taeda

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Sand Pine	<i>Pinus clausa</i>
Slash Pine	<i>Pinus elliotti</i>
Sycamore	<i>Platanus occidentalis</i>

ACCENT TREES FOR ALL PROPERTIES

Eight-foot (8') height; five-foot (5') spread; two-inch (2") caliper (does not apply to multi-trunk trees); three-foot (3') clear trunk.

Common Name	Botanical Name
Pop Ash	<i>Fraxinus caroliniana</i>
Heritage River Birch	<i>Betula Nigra</i> "Heritage" (multi-stem)
Japanese Blueberry	<i>Elaeocarpus Decipens</i>
Erect Bottlebrush	<i>Callistemon rigidus</i>
Weeping Bottlebrush	<i>Callistemon viminalis</i>
Buttonbush	<i>Cephalanthus occidentalis</i>
Camphor Tree	<i>Cinnmorum camphora</i>
Southern Red Cedar	<i>Juniperus sillicola</i>
Carolina Sapphire Cypress	<i>Cupressus glabra</i>
Dahoon Holly	<i>Ilex cassine</i>
East Palatka Holly	<i>Ilex opaca</i> "East Palatka"
Nellie Stevens Holly	<i>Ilex</i> "Nellie Stevens"
Weeping Yaupon Holly	<i>Ilex vomitoria</i> "Weeping Yaupon"
Yaupon Holly	<i>Ilex vomitoria</i>
Compact Cherry Laurel	<i>Prunus Caroliniana</i>
Ligustrum (multi-stem)	<i>Ligustrum japonicum</i>
Loquat	<i>Eriobotrya japonica</i>
Little Gem Magnolia	<i>Magnolia grandiflora</i> "Little Gem"
Basham's Pink Crape myrtle (multi-stem)	<i>Lagerstoemia indica</i> "Basham"
Muskogee Crape myrtle (multi-stem)	<i>Lagerstroemia indica</i> "Muskogee"
Natchez Crape myrtle (multi-stem)	<i>Lagerstroemia indica</i> "Natchez"
Tuscarora Crape myrtle (multi-stem)	<i>Lagerstroemia indica</i> "Tuscarora"
Weeping Willow	<i>Salix Babylonica</i>

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PALM TREES FOR ALL PROPERTIES

Ten-foot (10') clear trunk (spaced 8'-10' apart in groupings).

Common Name	Botanical Name
Cabbage Palm	Sabel palmetto
Canary Island Date Palm	Phoenix canariensis
Foxtail Palm	Wodyetia bifurcata
Medjool Dactylifera Palm	Phoenix dactylifera "Medjool"
Royal Palm	Roystonea regia
Paurotis Palm	Acoelorrhaphe wrightii
Windmill Palm	Trachycarpus fortunei
Washington Palm	Washingtonian robusta

TALL SHRUBS FOR ALL PROPERTIES

Three (3)-gallon; container-grown

Common Name	Botanical Name
Bush Allamanda	Allamanda Nerifolia
Florida Anise	Illicium floridanum
Yellow Anise	Illicium parviflorum
Formosa Azalea	Rhododendron "Formosa"
Heavenly Bamboo	Nandina domestica
Beautyberry	Callicarpa americana
Chinese Holly	Ilex comuta
Dwarf Burford Holly	Ilex cornuta "Burfordi"
Yaupon Holly	Ilex vomitoria
Orange/Red Ixora	Ixora coccinea
Red Ixora	Ixora coccinea "Nora Grant"
Yellow Ixora	Ixora coccinea
Petite Pink Oleander	Nerium oleander "Petite"
Split Leaf Philodendron	Philodendron selloum
Green Pittosporum	Pittosporum tobira
Imperial Blue Plumbago	Plumbago auriculata
Yew Podocarpus	Podocarpus macrophylla "Maki"
Thyrallis	Galphemia gracillis
Sandanka Viburnum	Viburnum suspensum

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MEDIUM SHRUBS FOR ALL PROPERTIES

Three (3) gallon; container-grown.

Common Name	Botanical Name
Buttonbush	Cephalanthus occidentalis
Japanese Cleyera	Ternstroemia gyntera
Fakahatchee or Gamma Grass	Tripsacum floridania capilleris
Striped Eulalia Grass	Miscanthus sinensis (green)
Crimson Fountain Grass	Miscanthus sinensis 'Variegatus' (variegated)
Sand Cord Grass	Spartina bakeri
Wax Myrtle	Myrica cerifera
Pink Oleander	Nerium oleander "Calypso Pink"
Red Oleander	Nerium oleander "Calypso Red"
White Oleander	Nerium oleander "Calypso White"

ACCENT SHRUBS FOR ALL PROPERTIES

Ten (10) gallon; container-grown.

Common Name	Botanical Name
Bird of Paradise	Strelitzia reginae
White Bird of Paradise	Strelitzia nicolai
Crinum Lily	Crinum asiaticum
Chinese Fan Palm	Livistonia chinensis
Lady Palm	Rhapis excelsa
Saw Palmetto	Serenoa repens
Silver Saw Palmetto	Serenoa repens 'Cinerea'

LOW SHRUBS AND GROUND COVER FOR ALL PROPERTIES

Low Shrubs: three (3) gallon; container-grown. Ground Cover: one (1) gallon; container-grown

Common Name	Botanical Name
Alaska White Dwarf Azalea	Rhododendron "Alaska White"
Duchess of Cypress Dwarf Azalea	Rhododendron "Duchess of Cypress"
George Tabor Azalea	Rhododendron "George Tabor"
Red Ruffle Dwarf Azalea	Rhododendron "Red Ruffle"
Southern Charm Azalea	Rhododendron "Southern Charm"
White Azalea	Rhododendron "G.G. Gerbing"
Blueberry	Vaccinium darrowii
Japanese Boxwood	Buxus microphylla

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Cast Iron Plant	Aspidistra elatior
Crown of Thorns	Euphorbia Milii
African Bush Daisy	Gamolepis Chrysanthemoides
Holly Fern	Cyrtomium falcatum
Society Garlic	Tulbagia violacea
Shell Ginger	Alpinia zerumbet
Muhly Grass	Muhlenbergia
Red Fountain Grass	Pennisetum setaceum "Cupreum"
Pink Indian Hawthorn	Raphiolepis indica "Rosea"
African Iris	Moeaea iridioides
Algerian Ivy	Hedera canariensis
Confederate Jasmine	Trachelospermum jasminoides
Dwarf Asiatic Jasmine	Trachelospermum asiaticum
Dwarf Variegated Asiatic Jasmine	Trachelospermum asiaticum "variegatum"
Blue Pacific Juniper	Juniperus conferta
Dwarf Shore Juniper	Juniperus canerta "compacta"
Parsoni Juniper	Juniperus chinensis
Prince of Wales Juniper	Juniperus horizontalis
Irene Lantana	Lantana camera "Irene"
New Gold Lantana	Lantana camera "New Gold"
Purple/White Lantana	Lantana montevidensis
Radiation Lantana	Lantana camera "Radiation"
Raspberry Lantana	Lantana camera "Raspberry"
Tangerine Lantana	Lantana camera "Tangerine"
White Indian Hawthorn	Raphiolepis indica "Alba"
Lily of the Nile	Agapanthus africanus
Peace Lily	Spathiphyllum" Mauna Loa"
Big Blue Liriope	Liriope muscari "Big Blue"
Evergreen Giant Liriope	Liriope muscari "Evergreen Giant"
Oyster Plant	Rhoeo spathacea
Xanadu Philodendron	Philodendron "Xanadu"
Compact Green Pittosporum	Pittosporum tobira compacta
Sparkleberry	Vaccinium arboreum
Wedelia	Wedelia trilobata

LAWN GRASSES FOR ALL PROPERTIES

Solid sod only.

Common Name	Botanical Name
St. Augustine Grass "Floritam"	Stenotaphrum secundatum

SIGNAGE AND DECORATIONS

No signs, advertisements, notices or lettering of any kind may be displayed on any Lot or on Common Property with the exception of political signage which may be displayed from 90 days before to the day after an election and must be removed 14 days after the election.

Standard realty signs are not allowed on common property and only allowed to be posted in front yards from the date the house is placed on the market through the closing date. "Open House" signs are only allowed on the date of the "Open House" and can only be placed in the house front yard, key intersections and community entrances.

Decorations, however, may be displayed at the discretion of homeowners on the following conditions:

- Decorations, lights, flags and other items that are used for customary holiday and special events are welcome as long as they are temporary in nature.
- The ARC may regulate the quantity and nature of temporary decorations and the length of time they may be in place.
- Christmas decorations may be displayed from Thanksgiving Day until January 15.
- All other holiday decorations may be displayed for three weeks before and one week after the holiday.
- American flags may be flown in accordance with Federal Statutes providing a bracket is attached to the house or garage to hold a pole for a flag no larger than three feet by five feet.

VIOLATIONS

Non-compliance with the foregoing provisions of this Guide will be considered a Violation of the *Declaration of Covenants, Conditions and Restrictions for Wisteria Park*.

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Revisions made July 3, 2024

- Page 5 – Under heading titled **ARCHITECTURE REVIEW COMMITTEE**, paragraph beginning “Roof Solar Panels . . . Florida Statute 163.04, but the project needs approval of ARC in regards to placement of the solar panels” has been modified to read – *“Roof Solar Energy panels do not require ARC approval per Florida Statute 163.04, but ARC should be notified of project details.”*
- Page 15 – Under heading titled **PAINT COLORS, Not Allowed**, last item listed “The same roof, body or trim colors in homes side by side, back-to-back or directly across the street” has been modified to remove “trim”.
- Page 19 – Under **WALKWAYS, DRIVEWAYS AND SIDEWALKS**, 2nd paragraph, last sentence “Asphalt, gravel and painted concrete are prohibited driveway materials” has been modified to add the words *“and sidewalk”*.